

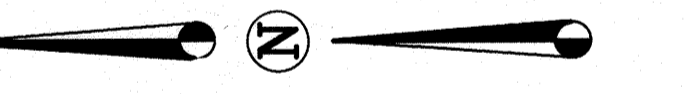
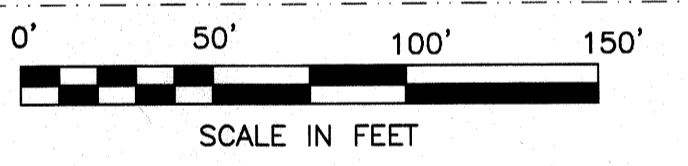
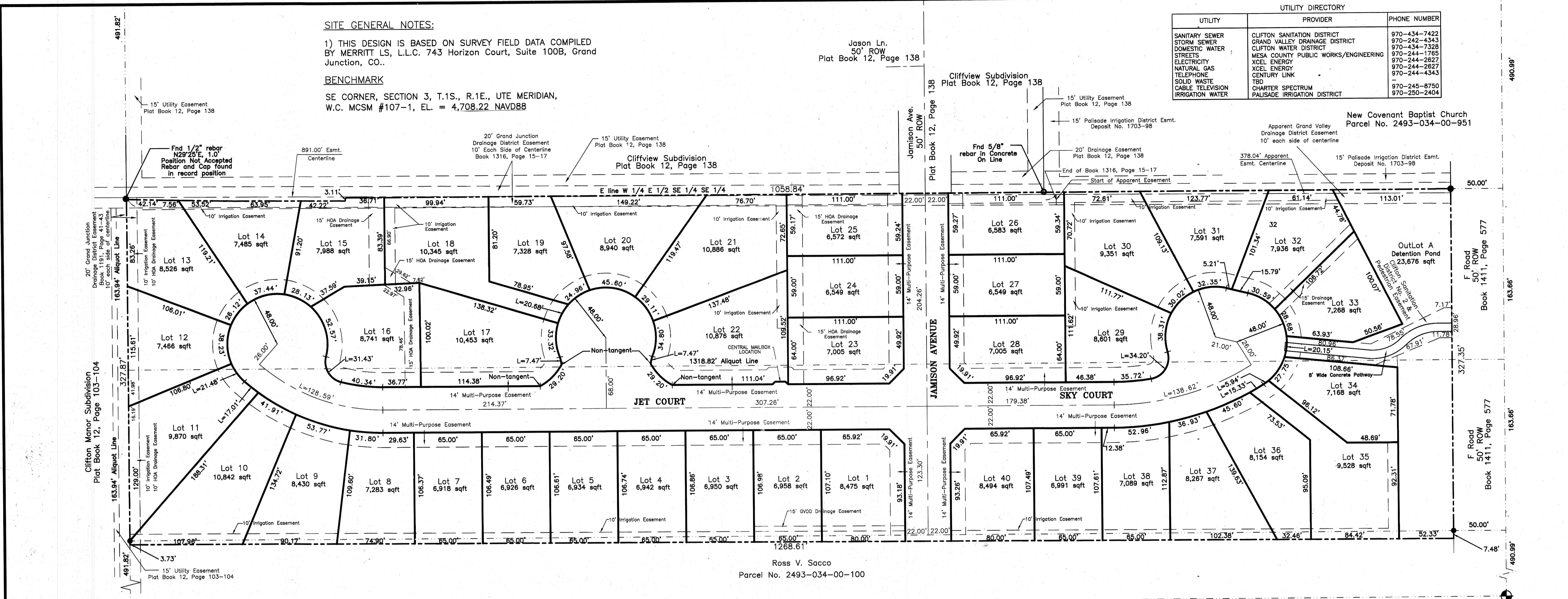
SITE GENERAL NOTES:

1) THIS DESIGN IS BASED ON SURVEY FIELD DATA COMPILED BY MERRITT LS, L.L.C. 743 Horizon Court, Suite 100B, Grand Junction, CO.

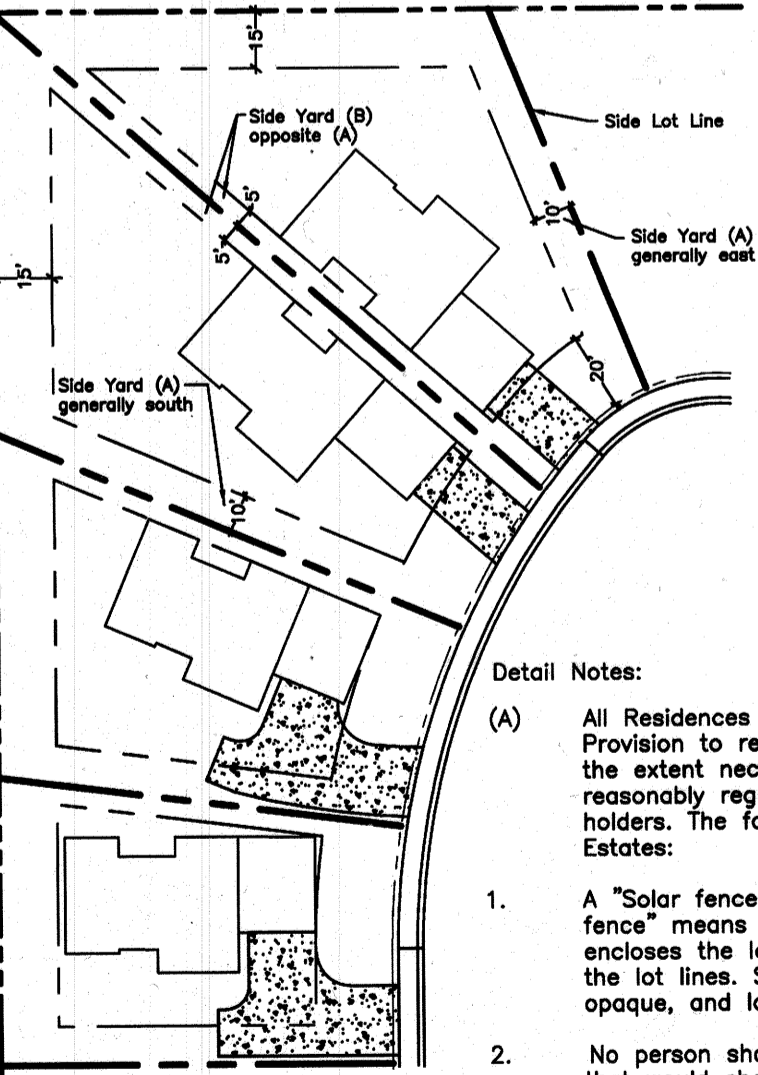
BENCHMARK

SE CORNER, SECTION 3, T.1S., R.1E., UTE MERIDIAN, W.C. MCSM #107-1, EL. = 4,708.22 NAVD88

UTILITY DIRECTORY		
UTILITY	PROVIDER	PHONE NUMBER
SANITARY SEWER	CLIFTON SANITATION DISTRICT	970-434-7422
STORM SEWER	GRAND VALLEY DRAINAGE DISTRICT	970-242-4343
DOMESTIC WATER	CLIFTON WATER DISTRICT	970-434-7328
STREETS	MESA COUNTY PUBLIC WORKS/ENGINEERING	970-244-1765
ELECTRICITY	XCEL ENERGY	970-244-2627
NATURAL GAS	XCEL ENERGY	970-244-2627
TELEPHONE	CENTURY LINK	970-244-4343
SOLID WASTE	TB	970-245-8750
CABLE TELEVISION	CHARTER SPECTRUM	970-250-2404
IRRIGATION WATER	PALISADE IRRIGATION DISTRICT	



LAND USE SUMMARY		
Category	Acres	Percent
Lots	7.40	76.2%
Outlots	0.54	5.6%
ROW	1.77	18.2%
Total	9.71	100.0%



Detail Notes:
 (A) All Residences shall abide by the following Solar Access Provision to regulate structures and vegetation on property to the extent necessary to insure access to solar energy, by reasonably regulating the interests of neighboring property holders. The following restrictions will apply to each lot in Butner Estates:
 1. A "Solar fence" is hereby hypothesized for each lot. "Solar fence" means a hypothetical obstruction which completely encloses the lot in question, and its foundation is contiguous with the lot lines. Such fence is absolutely vertical, and uniformly opaque, and lacks any thickness.
 2. No person shall erect an object or structure on any other lot that would shade a protected lot to a greater degree than the lot would be shaded by a solar fence twelve feet in height between two hours before and two hours after local solar noon on a clear winter solstice day. "Solar noon" means the time at which the sun is due south and in its highest position above the horizon.
 3. Buildings shall be restricted to one story not to exceed 24' in height above the foundation elevation as designated on the approved plans on all lots EXCEPT lots 11, 12, 13, 26, 27 & 28, which may have a second story.

TYPICAL LOT SETBACK DETAIL
Scale 1"=50'

TABULATION OF RECOMMENDED T.O.F. ELEVATIONS

Lot #	Block #	T.O.F. Minimum	T.O.F. Maximum
1	1	4718.90	4718.10
2	1	4718.89	4719.09
3	1	4719.33	4719.53
4	1	4720.21	4720.41
5	1	4721.17	4721.37
6	1	4721.77	4721.97
7	1	4722.58	4722.78
8	1	4723.95	4724.15
9	1	4724.45	4724.65
10	1	4725.03	4725.23
11	1	4725.03	4725.23
12	1	4725.29	4725.49
13	1	4724.52	4724.72
14	1	4724.22	4724.42
15	1	4723.92	4724.12
16	1	4723.51	4723.71
17	1	4722.88	4723.08
18	1	4722.89	4723.09
19	1	4721.54	4721.74
20	1	4720.12	4720.32
21	1	4720.22	4720.42
22	1	4719.96	4720.16
23	1	4717.87	4718.07
24	1	4717.33	4717.53
25	1	4717.17	4717.37
26	1	4716.86	4717.06
27	1	4716.74	4716.94
28	1	4716.42	4716.62
29	1	4715.04	4715.24
30	1	4714.24	4714.44
31	1	4713.16	4713.36
32	1	4713.00	4713.20
33	1	4713.10	4713.30
34	1	4713.10	4713.30
35	1	4713.50	4713.70
36	1	4713.60	4713.80
37	1	4713.88	4714.08
38	1	4714.40	4714.60
39	1	4714.92	4715.12
40	1	4716.18	4716.38

CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO) ss
 COUNTY OF MESA
 I hereby certify that this instrument was filed in my office at 2:50 o'clock P.M., February 14, A.D., 2018 and was duly recorded in Plat Book No. 12, Page No. 114
 Fees: \$1000 + \$300
 Reception No. A830580
 Drawer No. C3-104
 Sheila Reiner, Clerk and Recorder
 Kim Cole, Deputy

BOARD OF COUNTY COMMISSIONER'S CERTIFICATE:

Accepted this 13th day of February, 2018 A.D. by the Board of County Commissioners of the County of Mesa, State of Colorado
 John Justman, Chairperson

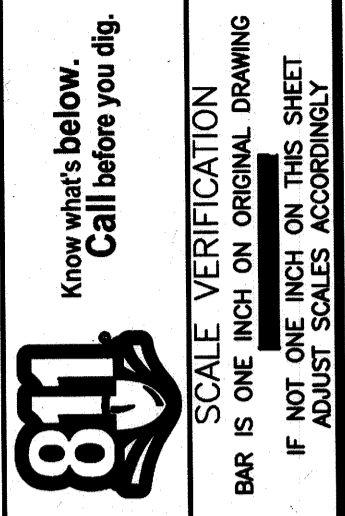
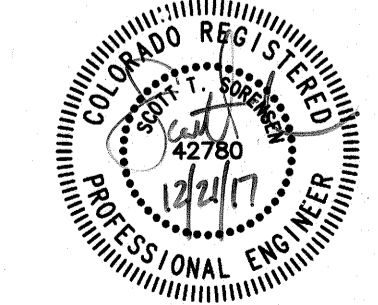
TABLE OF DIMENSIONAL STANDARDS
Minimum Setbacks
Principal and Accessory Structures

Street See Note #1	Side Yard (A) See Note #2	Side Yard (B) See Note #2	Rear Yard
20 Feet	10 Feet	5 Feet	15 Feet

- Notes:
- Street Setbacks are measured from the Right-of-Way Line to the Principal Structure (including attached Garages).
 - 10' Side Yard Setback (A) is generally the South or East Side Yard Setback, whichever is applicable. See Typical Lot Setback Detail This Sheet.
 - 5' Side Yard Setback (B) is opposite of Side Yard Setback (A).
 - These Setbacks are subject to the Exceptions and Permitted Encroachments allowed in the Code Section 6.2.5.B.

Development Notes:

- The allowed uses shall meet the underlying RSF-4 Zoning District standards as outlined in Chapter 5 of the Mesa County Land Development Code (2000, as amended).
- Private open space is dedicated and designated as outlots on the plat, with a dedication statement for the proposed used, ownership and maintenance of the land.
- Pursuant to C.R.S 24-68-101 et seq. and Section 1.10 of the 2000 Mesa County Land Development Code a site specific development plan has been approved by the Mesa County Department of Planning and Economic Development for Butner Estates Subdivision a Residential Planned Unit Development and shall result in a vested right for a period of three years from the date that the required vesting notice is published.
- All Parcels within the development shall take access from the internal subdivision roads in conformance with the access standards contained in the Mesa County Standard Specifications for Road and Bridge Construction and the Road Access Policy.
- Contact Mesa County Traffic (244-1817) prior to placement of traffic devices.
- Proposed access on all lots must be a minimum of five (5) feet from adjacent property lines and a minimum corner clearance of fifty (50) feet from the edge of the traveled way of an intersecting street.
- Lot 1, 16, 22, 23, 28, 29 and 40 driveways will be required to conform to the corner clearance stated above.
- On flag pole lots 18 and 35 an exception to the five (5) foot minimum clearance has been approved and those lots must have a minimum of three (3) foot clearance from the adjacent property lines.
- Prior to building structures, lot-specific subsurface conditions and soil engineering properties shall be verified through engineering oversight and materials testing by a qualified geotechnical consultant during the foundation design and earthwork phase of construction.
- Due to expansive soils, all landscaping on lots shall be low-water (xeriscape) and all effort shall be taken to keep the water from foundations.
- Raw irrigation water for the development is not available and lot owners shall utilize domestic water for irrigating landscaping.



NO.	DATE	REVISIONS DESCRIPTION

A.C.G.
 AUSTIN CIVIL GROUP, INC.
 Land Planning • Civil Engineering • Development Services
 123 N. 7th Street, Suite 300 • Grand Junction, Colorado 81501
 (970) 242-7540

BUTNER ESTATES SUBDIVISION
 SITE PLAN
 WATERLINE JAMISON AVE.
 GRAND JUNCTION, COLORADO
 prepared for HOUSING RESOURCE OF WESTERN COLORADO

DRAWN BY: MDS	DESIGNED BY: MDS	CHECKED BY: STS	APPROVED BY: STS
JOB NUMBER: 1267.0001			
DATE: 12-21-17			
SCALE: 1"=50'			
SHEET NO: 1 OF 1			