

Housing Resources of Western Colorado  
524 30 Road, Suite 3  
Grand Junction, Colorado 81504  
(970) 241-2870

# PLANS FOR CONSTRUCTION OF

# GARDEN VILLAGE PARKING LOT

MAY 29, 2020



VICINITY MAP  
NTS

## PROJECT LOCATION

NO.	TITLE
C1	COVER
C2	TYPICAL CONSTRUCTION NOTES
C3	DEMOLITION PLAN
C4	SITE PLAN / UTILITY COMPOSITE PLAN
C5	HORIZONTAL CONTROL PLAN
C6	GRADING AND DRAINAGE PLAN

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**A ■ C ■ G**

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**AUSTIN CIVIL GROUP, INC.**

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Land Planning ■ Civil Engineering ■ Development Services

123 North 7th Street, Suite 300 ■ Grand Junction, Colorado 81501  
(970) 242-7540

GARDEN VILLAGE PARKING LOT	DRAWN BY: lms	JOB NUMBER: 1267.0002
	DESIGNED BY: lms	DATE: 03-27-2020
COVER  2601 BELFORD AVENUE	CHECKED BY:	SCALE: NTS
	APPROVED BY: STS	SHEET NO: C-1
Housing Resources of Western Colorado prepared for		



1. Locations of existing utilities shown on these plans are approximate only. Contractor is to contact affected utility for specific locations before digging.
2. The Contractor shall notify the engineer if unanticipated conditions are encountered during completion of the work which require modifications to the contract drawings. The engineer can be reached at 970-242-7540.
3. Contractor shall give 48-hour notice to all authorized inspectors, superintendents, or person in charge of public and private utilities affected by his operations prior commencement of work. Contractor shall assure himself that all construction permits are current.
4. Contractor shall confine his construction operations to the right-of-way, easements, and lots, as shown on plans and plot. Any damage to private facilities outside these limits shall be repaired by the Contractor at no expense to the Owner.

6. Contractor shall familiarize himself with the geotechnical testing requirements of the City of Grand Junction. The results of the required types of tests and numbers of passing tests shall be furnished to the Engineer for verification before final acceptance by the Owner will be granted. All failing tests shall be brought to the immediate attention of the Engineer and retests shall be performed until passing results are obtained. All utility lines, including service lines falling shall be tested.

8. All utility installations are to be performed in accordance with the City of Grand Junction Standard Specifications for the Construction of Underground Utilities and Standard Details.

10. In the event of a discrepancy between the construction notes contained herein and the notes and details in the City of Grand Junction Standard Contract Documents for Capital Improvements Construction manual, the City's manual shall control.

12. All concrete in driveways to be 6" minimum, Class VI ABC, unless otherwise noted.

13. All finished grades around the building perimeter shall slope a minimum of 2% away from the building for a minimum of 10-ft.

14. All roof drains that discharge to the finished ground surface shall be provided with splash blocks that extend beyond the building foundation excavation zone.

15. All fill, building, concrete or asphalt pavement areas shall be stripped of a minimum 6-inches of topsoil.

1. All road widths and radii are to flow line unless noted otherwise. Any "spot" design elevations are to flow line of curb and gutter unless otherwise noted.

2. Prior to pavement placement, the pavement prism should be stripped of all unsuitable materials. It is recommended that the subgrade soils be scarified to a depth of 12-inches, moisture conditioned, and recompacted to a minimum of 95% of the standard Proctor maximum dry density, within  $\pm 2\%$  of optimum moisture as determined by AASHTO T-99.

3. Contractor to protect existing utilities and appurtenances. Manholes, drainage inlets, utility lines, etc., damaged, covered, or filled with dirt or debris by the Contractor shall be cleaned and repaired at no expense to the Owner.

4. Where proposed pavement is to match existing pavement, existing pavement is to be squared cut, full base thickness is to be brought to match line and existing surface is to be tack-coated before proposed surface is placed.

5. All handicap ramps, sidewalks and curb and gutter are to be constructed where indicated on the plans and in accordance The City of Grand Junction requirements..

6. Curb, gutter, and drainage pans are to have expansion joints at each change in horizontal alignment of curb and gutter, but in no case at a greater distance apart than 100 feet. Locate dummy grooved joints between expansion joints at intervals not exceeding 10 feet. Where length of pour precludes 10 foot intervals, the end sections may be less than 10 feet but not less than 5 feet.

7. PAVEMENT SECTION: "Hot-Mix Asphalt" 4-inch HMA over 7-inch CDOT Class 6 over 12-inch scarified & recompactd subgrade. "Rigid Pavement" 6-inch Portland Cement Concrete w/ #4 bars @ 16" cntrs., E.W. over 6-inch CDOT Class 6 over 12-inch scarified & recompactd subgrade.

1. All storm sewer line construction shall be in accordance with the City of Grand Junction Standards and Specifications.
2. All Reinforced Concrete storm sewer pipe shall conform to ASTM Standard Specifications, C-76, Class III unless otherwise noted.
3. All polyvinyl chloride (PVC) pipe and fittings shall conform to ASTM Standard Specifications, D3034 and F679, SDR-35 unless otherwise noted.
4. All High Density Polyethylene (HDPE) pipe and fittings shall be smooth bore and shall conform to the following:
  - 12 inch to 36 inch shall meet ASSHTO M294
  - 42 inch to 48 inch shall meet ASSHTO MP6
 All HDPE pipe up to 30" shall be backfilled to springline with Class-6.

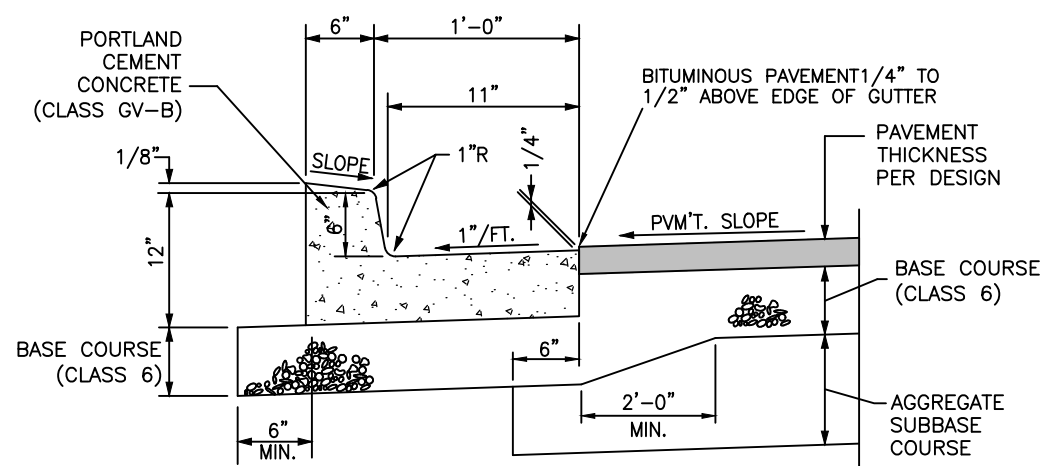
1. Before stripping of the site preparation for overlot grading, the surface is to be pre-wet to control dust.

2. Any stockpiles of stripping materials are to be periodically sprayed with water or a crusting agent to stabilize potentially wind blown material.

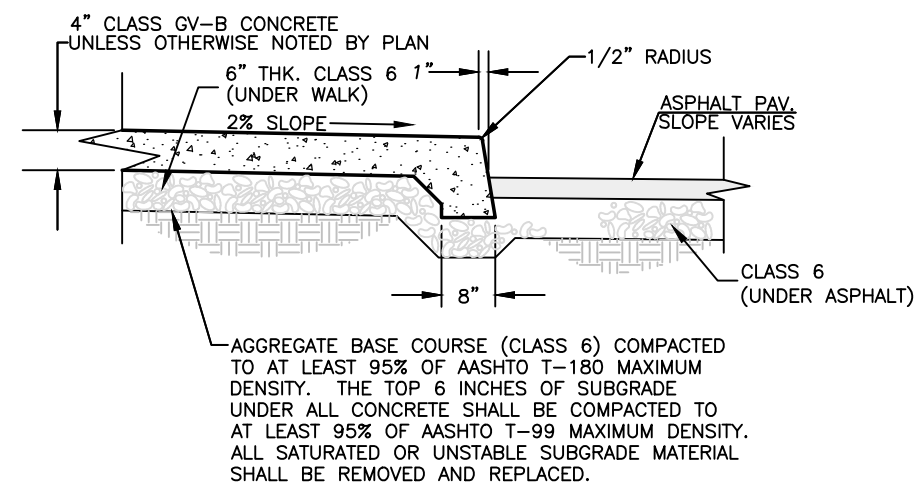
3. Haul road both into and around the site are to be sprayed as needed to suppress dust.

4. The Storm Water Management Plan and permit shall be obtained and kept onsite before starting any construction work. Gravel pads are to be constructed at the entrances to the site to help in removing mud from the wheels of haulage trucks before they enter onto City streets.

5. Trucks hauling import fill are to be tarped to aid in the control of airborne dust.

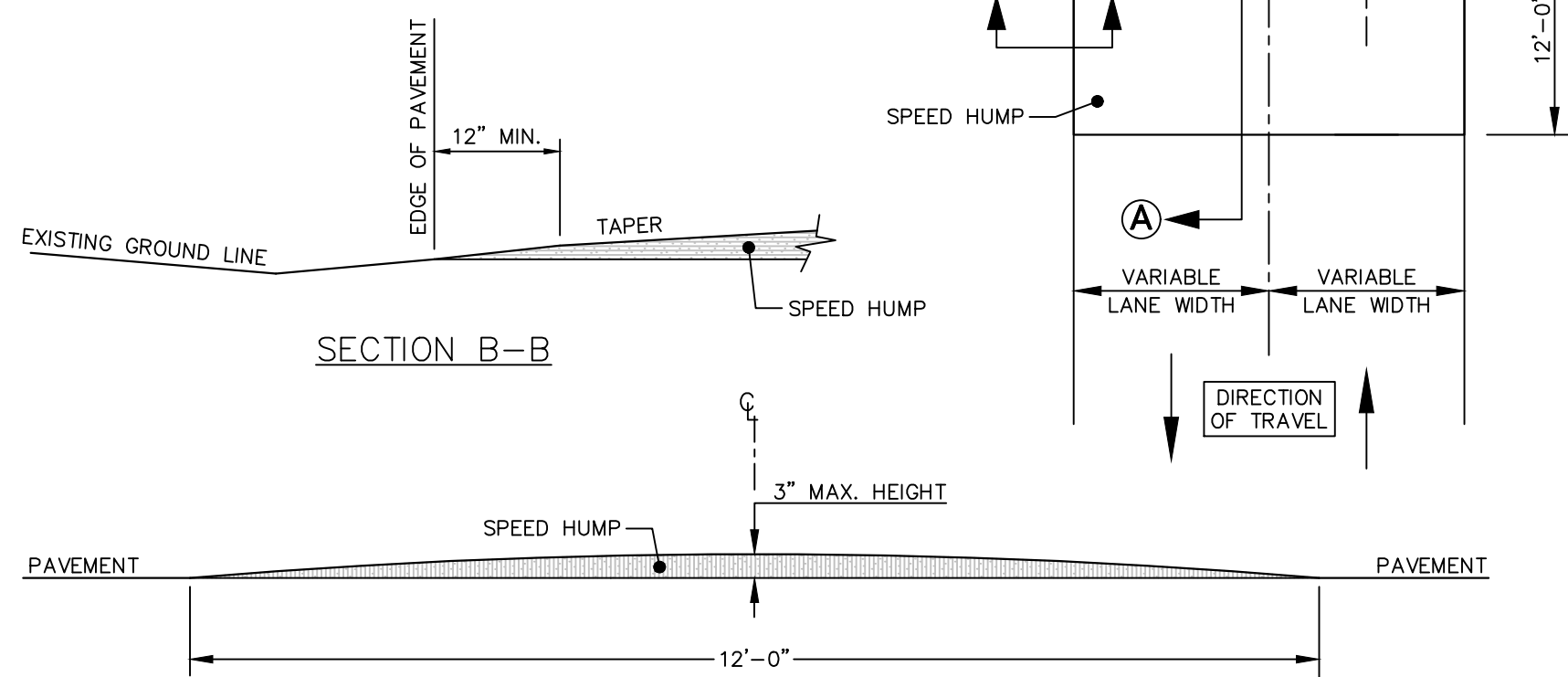


**A** STANDARD 1'-6" CURB AND GUTTER  
NOT TO SCALE



**B** SIDEWALK AND PAVEMENT SECTION  
NOT TO SCALE

**NOTE:**  
PARABOLIC SPEED HUMPS ARE NOT TO BE USED ON PUBLIC OR PRIVATE STREETS AND SHOULD ONLY BE USED IN PAVED AREAS OUTSIDE OF STREETS, SUCH AS PARKING LOTS.



## STANDARD PAVEMENT PARABOLIC SPEED HUMP

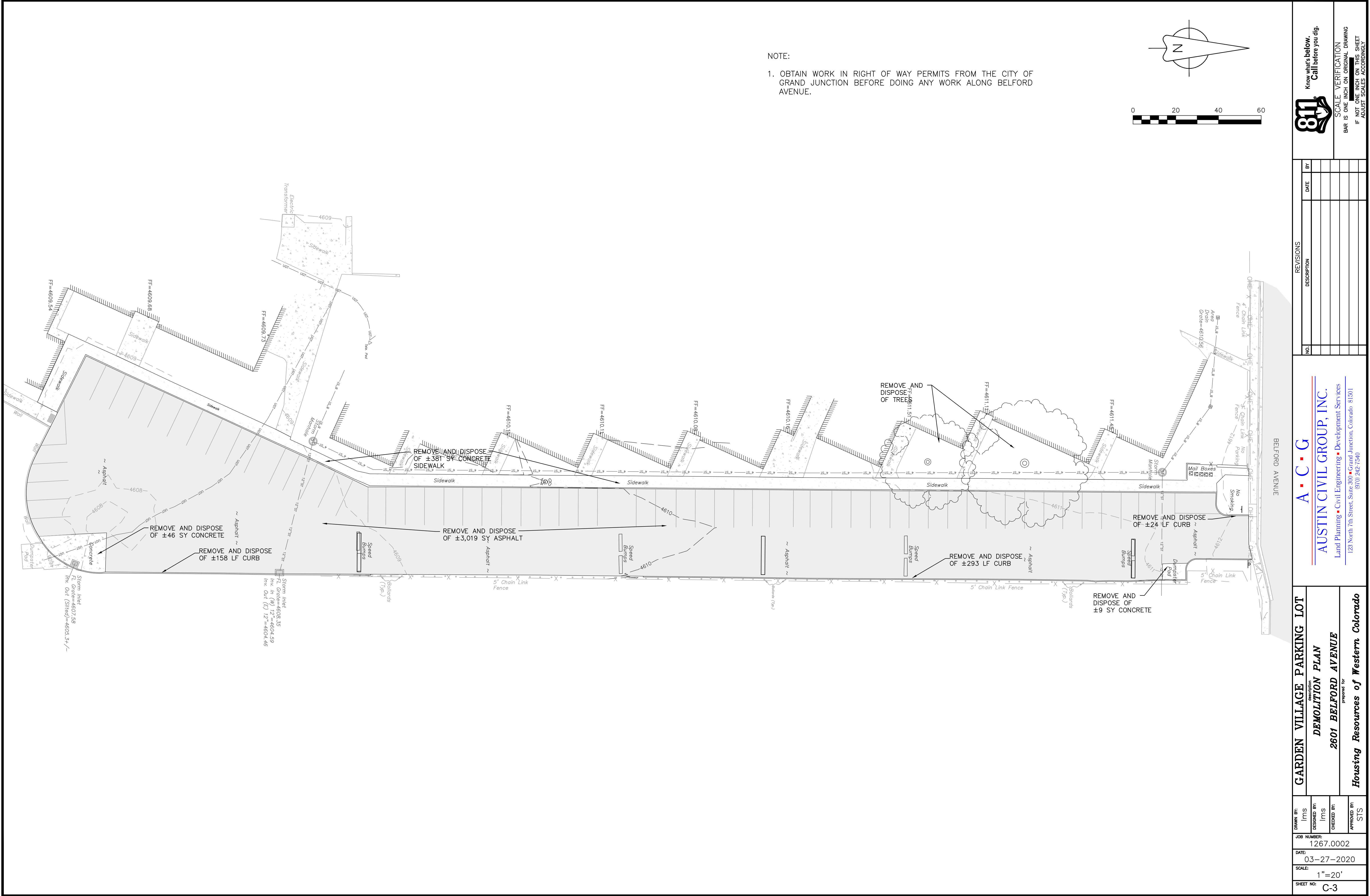
UTILITIES AND AGENCIES			
CITY OF GRAND JUNCTION SANITARY SEWER	MARK BARSLUND	201-1362	
CITY OF GRAND JUNCTION WATER	MARK BARSLUND	201-1362	
CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLUND	201-1362	
GRAND VALLEY IRRIGATION	CHARLIE GUNTHER	242-2762	
XCEL ENERGY	BRENDA BOES	244-2681	
CENTURY LINK	CHRIS JOHNSON	244-4333	
CHARTER	JEFF VALDEZ	245-8750	

## LEGEND

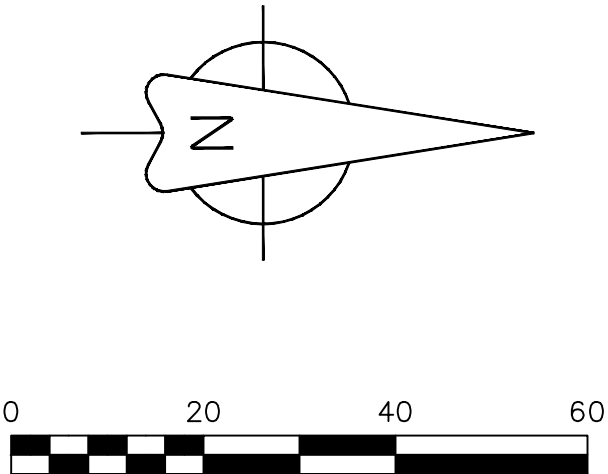
	PROPERTY LINE		PROPOSED INLINE DRAIN
	ADJACENT PROPERTY LINE		EXISTING 8" WATER MAIN
	EXISTING EASEMENT		PROPOSED 2" DOMESTIC SERVICE
	PROPOSED EASEMENT		PROPOSED 4" FIRE LINE
	EXISTING BUILDING		EXISTING FIRE HYDRANT
	PROPOSED BUILDING		PROPOSED FIRE HYDRANT
	EXISTING CURB/GUTTER		EXISTING WATER METER
	PROPOSED CURB/GUTTER		PROPOSED WATER METER
	PROPOSED SPILL CURB/GUTTER		PROPOSED METER/BACKFLOW VAULT
	PROPOSED TRANSITION CURB/GUTTER		PROPOSED IRRIGATION MANHOLE
	EXISTING RETAINING WALL		PROPOSED FENCE
	EXISTING 1'-FT CONTOUR		EXISTING FENCE
	EXISTING 5'-FT CONTOUR		PROPOSED TRAFFIC FLOW
	PROPOSED 1'-FT CONTOUR		GRADE BREAK
	PROPOSED 5'-FT CONTOUR		ROOF DRAIN (RD)
	EXISTING ASPHALT		STREET LIGHT POLE
	PROPOSED ASPHALT		FIRE DEPARTMENT CONNECTION
	PROPOSED HEAVY DUTY ASPHALT		PARKING LOT LIGHT
	EXISTING CONCRETE		PROPOSED BUILDING LIGHT
	PROPOSED CONCRETE		POWER POLE
	PROPOSED HEAVY DUTY CONCRETE		FLOWLINE
	EXISTING SANITARY SEWER		EOP
	PROPOSED SANITARY SEWER		TOC
	EXISTING SANITARY SEWER MANHOLE		TOW
	PROPOSED SANITARY SEWER MANHOLE		BOW
	PROPOSED SANITARY SEWER CLEANOUT		TBW
	EXISTING STORM SEWER		TC
	PROPOSED STORM SEWER		BOC
	EXISTING STORM SEWER INLET		LS
	PROPOSED STORM SEWER INLET		LANDSCAPE AREA
	EXISTING STORM SEWER MANHOLE		UTILITY PEDESTALS
	PROPOSED STORM SEWER MANHOLE		

GARDEN VILLAGE PARKING LOT		description	
GENERAL CONSTRUCTION NOTES			
2601 BELFORD AVENUE		prepared for	
Housing Resources of Western Colorado			
DRAWN BY: IRIS	JOB NUMBER: 1267.0002		
DESIGNED BY: IRIS	DATE: 03-27-2020		
CHECKED BY:	SCALE: NTS		
APPROVED BY: STS	SHEET NO: C-2		



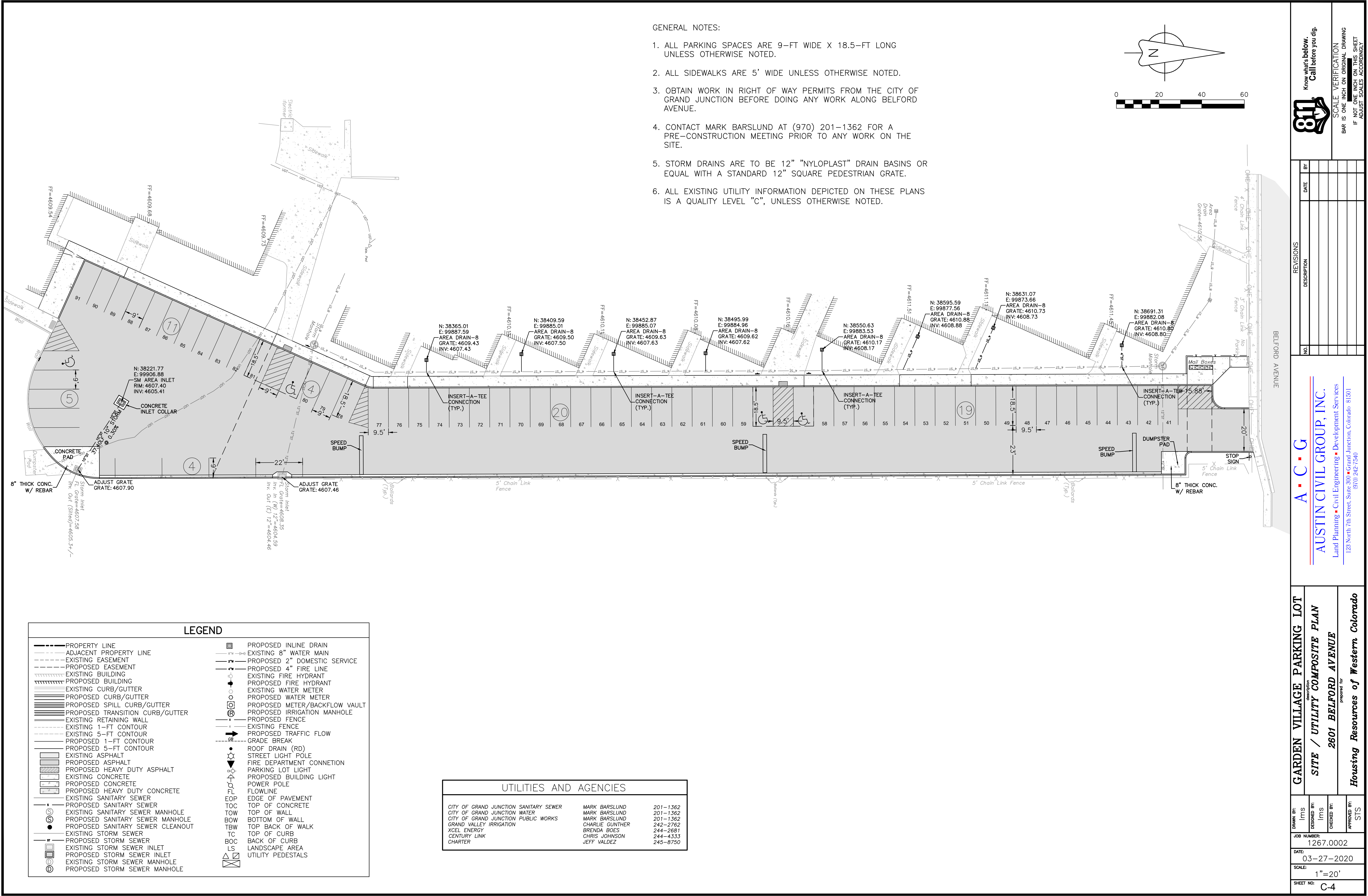


NOTE:  
1. OBTAIN WORK IN RIGHT OF WAY PERMITS FROM THE CITY OF GRAND JUNCTION BEFORE DOING ANY WORK ALONG BELFORD AVENUE.



GARDEN VILLAGE PARKING LOT		description		A • C • G		NO.		REVISIONS		DATE		BY	
DEMOLITION PLAN				AUSTIN CIVIL GROUP, INC.									
2601 BELFORD AVENUE				Land Planning • Civil Engineering • Development Services									
prepared for				123 North 7th Street, Suite 300 • Grand Junction, Colorado 81501									
				(970) 242-7540									
Housing Resources of Western Colorado													
DRAWN BY:		lms											
DESIGNED BY:		lms											
JOB NUMBER:		1267.0002											
DATE:		03-27-2020											
SCALE:		1"=20'											
SHEET NO:		C-3											





GENERAL NOTES:

- 1. ALL PARKING SPACES ARE 9-FT WIDE X 18.5-FT LONG UNLESS OTHERWISE NOTED.
- 2. ALL SIDEWALKS ARE 5' WIDE UNLESS OTHERWISE NOTED.
- 3. OBTAIN WORK IN RIGHT OF WAY PERMITS FROM THE CITY OF GRAND JUNCTION BEFORE DOING ANY WORK ALONG BELFORD AVENUE.
- 4. CONTACT MARK BARSLUND AT (970) 201-1362 FOR A PRE-CONSTRUCTION MEETING PRIOR TO ANY WORK ON THE SITE.
- 5. STORM DRAINS ARE TO BE 12" "NYLOPLAST" DRAIN BASINS OR EQUAL WITH A STANDARD 12" SQUARE PEDESTRIAN GRATE.
- 6. ALL EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS IS A QUALITY LEVEL "C", UNLESS OTHERWISE NOTED.

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING CURB/GUTTER
- PROPOSED CURB/GUTTER
- PROPOSED SPILL CURB/GUTTER
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- PROPOSED STORM SEWER
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- PROPOSED FENCE
- EXISTING FENCE
- PROPOSED TRAFFIC FLOW
- GRADE BREAK
- ROOF DRAIN (RD)
- STREET LIGHT POLE
- FIRE DEPARTMENT CONNETION
- PARKING LOT LIGHT
- PROPOSED BUILDING LIGHT
- POWER POLE
- FLOWLINE
- EDGE OF PAVEMENT
- TOP OF CONCRETE
- TOW
- BOW
- TBW
- TC
- BOC
- LS
- LANDSCAPE AREA
- UTILITY PEDESTALS

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CENTURY LINK	CHRIS JOHNSON	244-4333
CHARTER	JEFF VALDEZ	245-8750

Know what's below.  
Call before you dig.

SCALE VERIFICATION

BAR IS ONE INCH ON ORIGINAL DRAWING

IF NOT ONE INCH ON THIS SHEET

ADJUST SCALES ACCORDINGLY

REVISIONS

DESCRIPTION

DATE

BY

NO.

GARDEN VILLAGE PARKING LOT

SITE / UTILITY COMPOSITE PLAN

2601 BELFORD AVENUE

Housing Resources of Western Colorado

DESIGN

DESCRIPTION

DATE

BY

NO.

1267.0002

03-27-2020

1"=20'

C-4







